



Braemar Road, Worcester Park

The **PERSONAL** Agent

£575,000

Freehold

- Highly Sought After Road In Worcester Park
- Three Spacious Bedrooms
- Open Plan Kitchen Dining Room
- Additional Reception Room
- Landscaped Front And Rear Gardens
- Potential To Extend Further STPP
- No Onward Chain
- Must View Family Home



**** OPEN DAY NOW FULLY BOOKED **** The Personal Agent are delighted to welcome to the market this spacious and extended three bedroom terraced family home set within a highly desirable road within Worcester Park.

The property itself has been cleverly extended to now offer a stunning open plan kitchen / dining room to the rear of the property, a separate formal reception room currently used as a lounge, three well proportioned bedrooms and a modern family bathroom. With a private and landscaped rear garden, loft access which is ideal

for extending the property further into (STPP) and off-street parking for two cars to the front, this home really is a must view.

Call today to arrange your viewing. Sole agent.
No Chain

Worcester Park offers a larger choice of amenities including a Waitrose, banks/building societies and other essential stores, as well as a variety of restaurants, Worcester Park also offers great access to public transport.

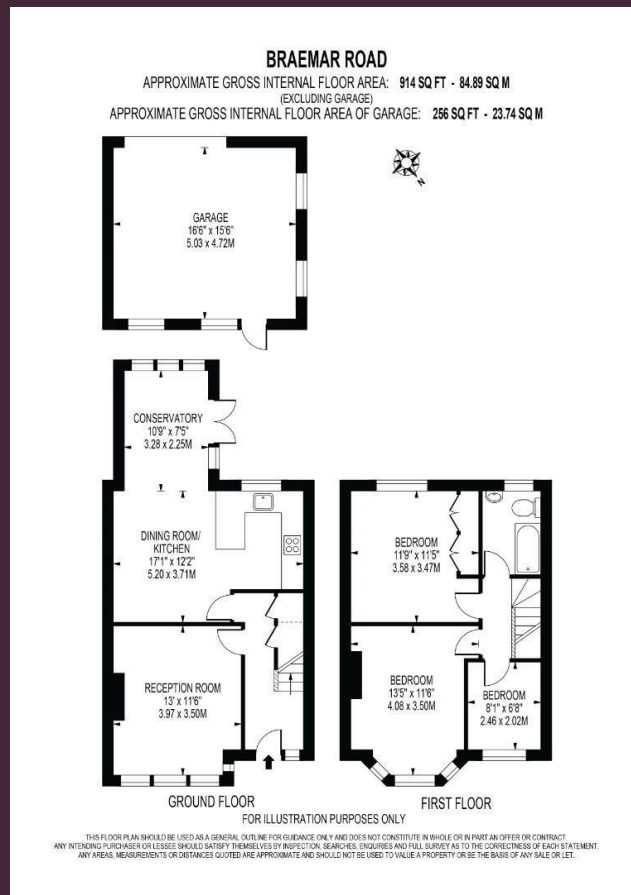
The property is within walking distance of Worcester Park mainline rail station with regular services to London and both the M25 and A3 are easily accessible, giving a straight forward route to London and both Heathrow and Gatwick international airports.

There are also local bus routes nearby giving convenient access to Morden underground making this property ideal for commuters.

Tenure - Freehold
Council tax band - D







Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		EU Directive 2002/91/EC

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Please Note: Whilst every attempt has been made to ensure the accuracy of the floorplans contained here, measurements of doors, windows and room areas are approximate and no responsibility is taken for any error, omission or mis-statement. These plans are for representation purposes only and should be used as such by and prospective purchaser. The services, systems and appliances listed in the specification have not been tested by The Personal Agent and no guarantee as to their operating ability or their efficiency can be given. All images and text used to advertise our properties are for the sole use of The Personal Agent Ltd.

